

Ivy Trace Blvd

Ivy Springs Dr

Parcel No. (APN) 120 6055 136
 Lot Area 0.80 ACRES

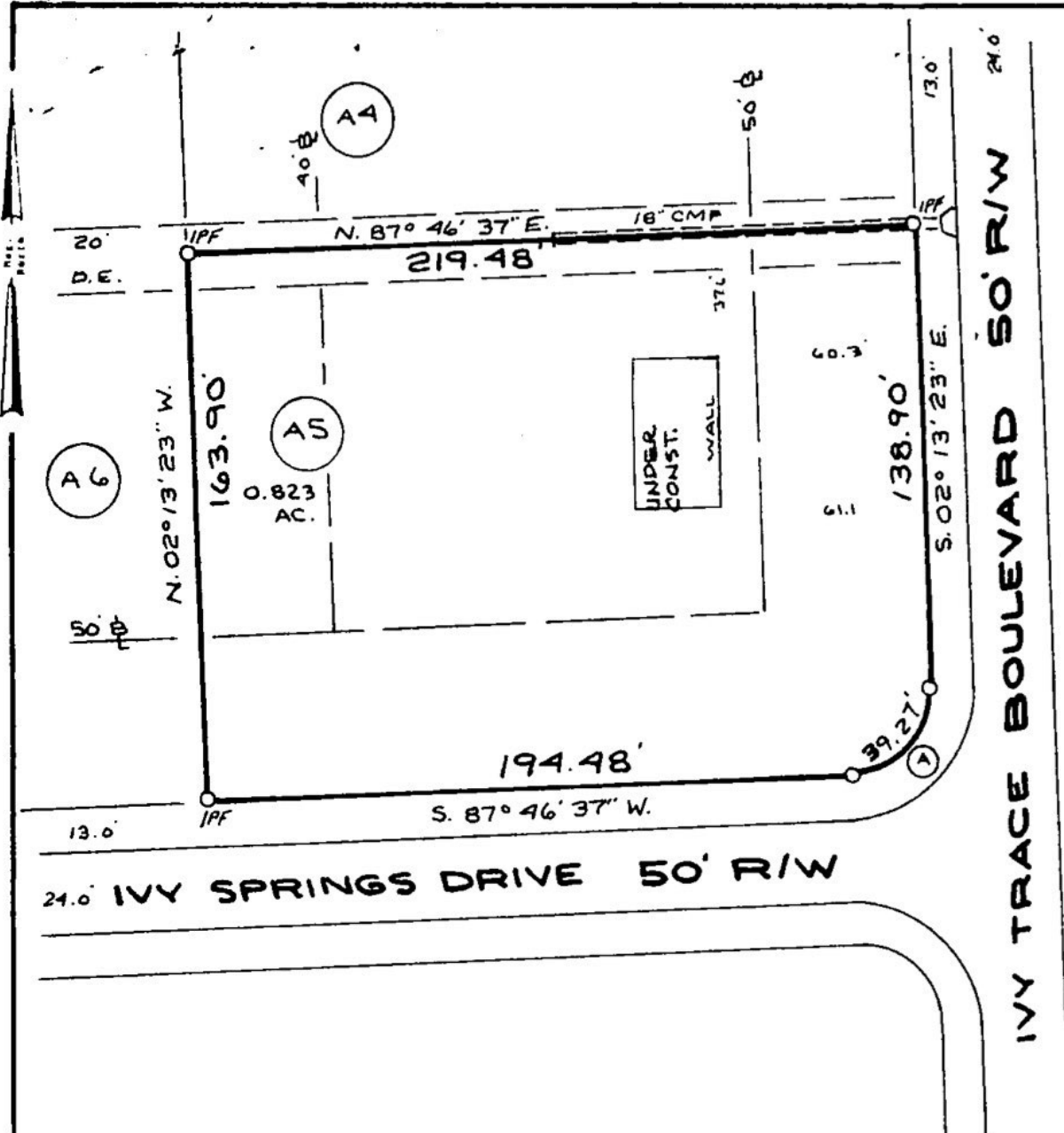
ADDRESS: 9 Ivy Springs Dr
 Newnan, GA 30265
 Scale: 1"=30'

THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE
 This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.

Impervious Surface Calculation:

Lot area: 34,809 sq.ft.
 Total impervious surface: 3,214 sq.ft.

Building Coverage Percentage: 3,214 sq.ft / 34,809 sq.ft = 0.09233 = 9.23%



IVY TRACE BOULEVARD 50' R/W

24.0' IVY SPRINGS DRIVE 50' R/W

(A)
 ARC = 39.27'
 R = 25.00'
 CH = 35.36'
 S. 42° 46' 37" W

Survey for
 DAVID LINDSEY HOMES, INC.
 of property at Ivy Trace Boulevard
 Lots A-5, Block Unit, Phase A, Ivy Trace Subdivision
 Land Lot 55, 6th. District, Coweta County, Georgia
 December 15, 1995 Scale 1" = 50'

ALVIN E. VAUGHN & ASSOC., INC.
 Planners - Surveyors
 P.O. Box 703
 Stockbridge, GA 30281
 (770) 474-1106

I certify to the above named party that this plat,
 in my opinion, is a correct representation of the
 land platted and has been prepared in conformity
 with the minimum standards and requirements of law.

Alvin E. Vaughn



Equipment used: Topcon GTS 2, 100' steel tape.
 Error of closure (traverse) _____, (plat) 20,000.±
 Adjustments by the Compass Rule.

In my opinion, this property is not located
 inside an "FIA" identified flood hazard area.

DESIGN LOADS & SPECIFICATIONS

- THIS SET OF CONSTRUCTION DOCUMENTS WAS DESIGNED TO COMPLY WITH THE REQUIREMENTS OF THE GEORGIA RESIDENTIAL CODE (2018 INTERNATIONAL RESIDENTIAL CODE) WITH LOCAL AMENDMENTS.
- FLOOR DESIGN LOADS:
 - 10 PSF DEAD LOAD
 - 40 PSF LIVE LOAD
 - 10 PSF GROUND SNOW LOAD
- ROOF DESIGN LOADS (IF APPLICABLE):
 - 12 PSF DEAD LOAD
 - 20 PSF LIVE ROOF LOAD
 - 10 PSF GROUND SNOW LOAD
- DESIGN WIND SPEED (ULTIMATE): 108 MPH
- SEISMIC DESIGN CATEGORY: B
- ASSUMED SOIL BEARING CAPACITY: 1500 PSF
- MINIMUM FOUNDATION DEPTH : 12"

GENERAL NOTES

- ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE, AND THAT THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

FRAMING NOTES

- ALL STRUCTURAL MATERIAL SHALL BE #2 SOUTHERN YELLOW PINE.
- ALL LUMBER EXPOSED TO WEATHER TO BE PRESERVATIVE TREATED WOOD U.N.O..
- P.T. DECK BOARDS ARE TO BE 5/4 S.Y.P.
- COMPOSITE DECK BOARDS TO BE 1" THICK.
- ALL SCREWS, BOLTS, NAILS AND FASTENERS SHALL BE HOT DIPPED GALVANIZED, STAINLESS STEEL, 5" LEDGER LOK FASTENERS OR 7" THRU-LOK FASTENERS.
- WHERE ATTACHING A DECK TO THE HOUSE, THE HOUSE SHALL HAVE A TREATED BAND THE ENTIRE LENGTH OF THE ATTACHMENT.
- FLASHING SHALL BE A MINIMUM OF 19 MIL. THICK CORROSIVE-RESISTANT METAL OR APPROVED NON-METALLIC MATERIAL. ALUMINUM IS NOT ALLOWED.

STAIR AND RAILING NOTES (IF PRESENT - REFER TO FLOOR PLAN)

- R311.7.5.1 & R311.7.5.2 THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4". THE MINIMUM TREAD DEPTH SHALL BE 10". THERE CAN BE NO MORE THAN 3/8" VARIATION IN THE TREAD DEPTH OR HEIGHT.
- R311.7.8 HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING TREAD NOSING SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".
- R311.7.8.2 HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM THE POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR TERMINATED INTO A NEWEL POST. HANDRAILS ADJACENT TO A WALL SHALL NOT HAVE A SPACE OF LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
- R311.7.8.3 HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4" AND NOT GREATER THAN 2". IF A HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MINIMUM CROSS SECTION DIMENSION OF 2-1/4".
- R311.7.1 - STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 31 1/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- CONTRACTOR TO CONFIRM THE PRESENCE OF OR PROVIDE IRC COMPLIANT STAIR ILLUMINATION.
- RAILINGS MUST COMPLY WITH IRC R312.1. RAILINGS MUST BE CAPABLE OF WITHSTANDING A SINGLE CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. INFILL COMPONENTS MUST WITHSTAND 50 LBS OF HORIZONTAL FORCE OVER 1 SF.

EXISTING CONDITIONS PHOTO

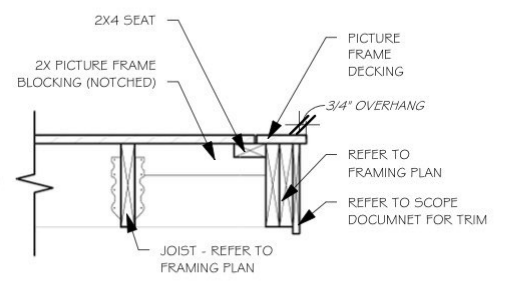
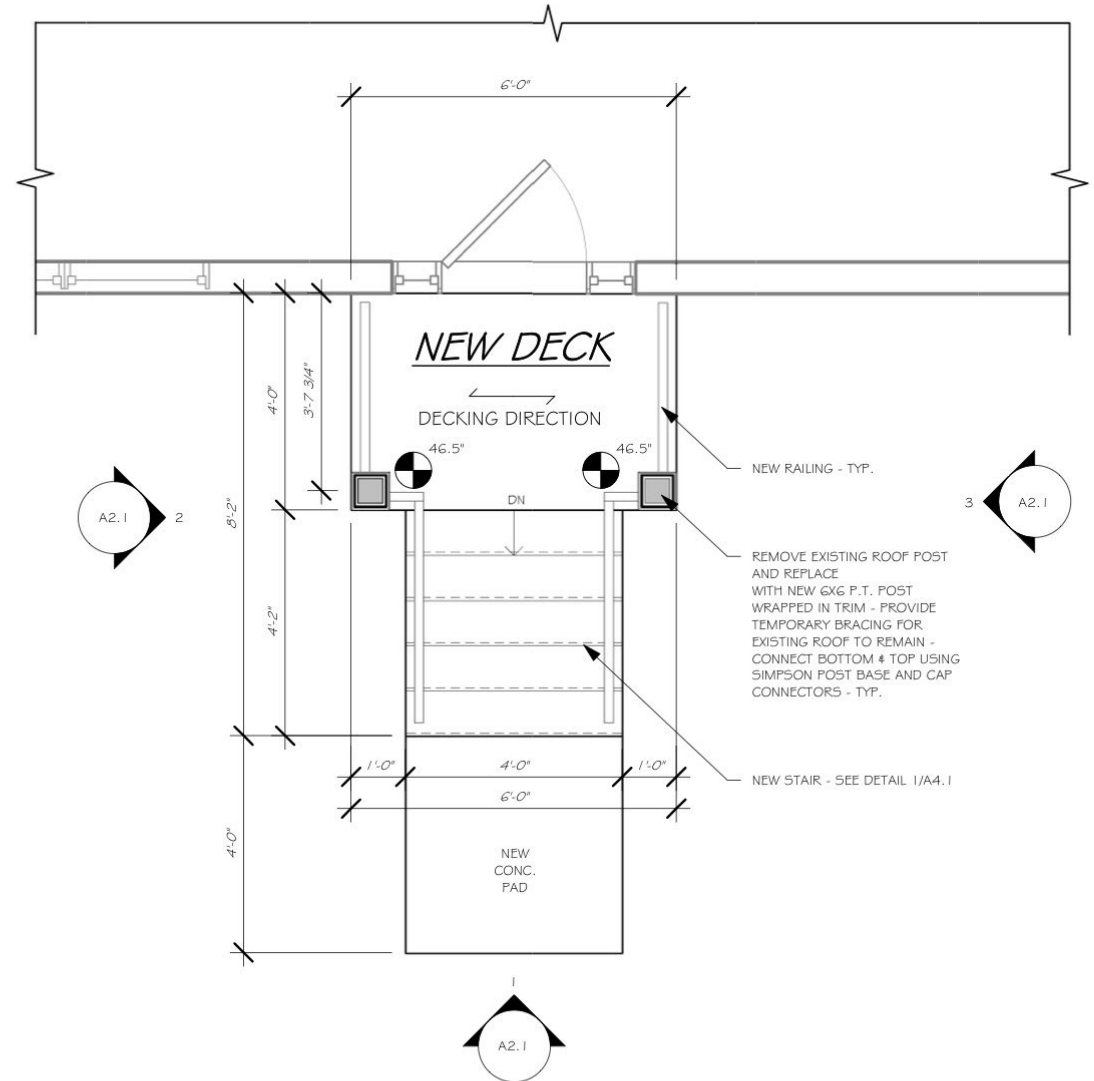


PERSPECTIVE VIEWS

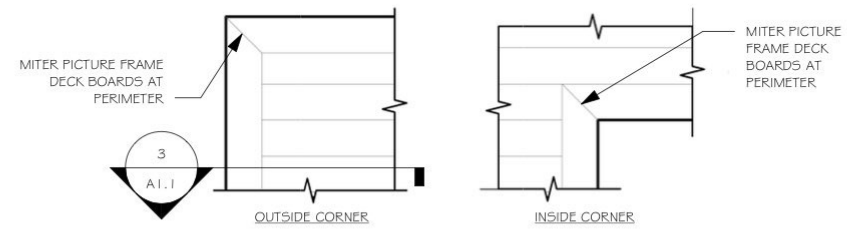


PLAN NOTES

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES WITH CONSTRUCTION DOCUMENTS.



3 PICTURE FRAME BLOCKING
 SCALE : 3/4" = 1'-0"



2 PICTURE FRAME DETAIL
 SCALE : 1/2" = 1'-0"

1 DECK PLAN
 SCALE : 3/8" = 1'-0"

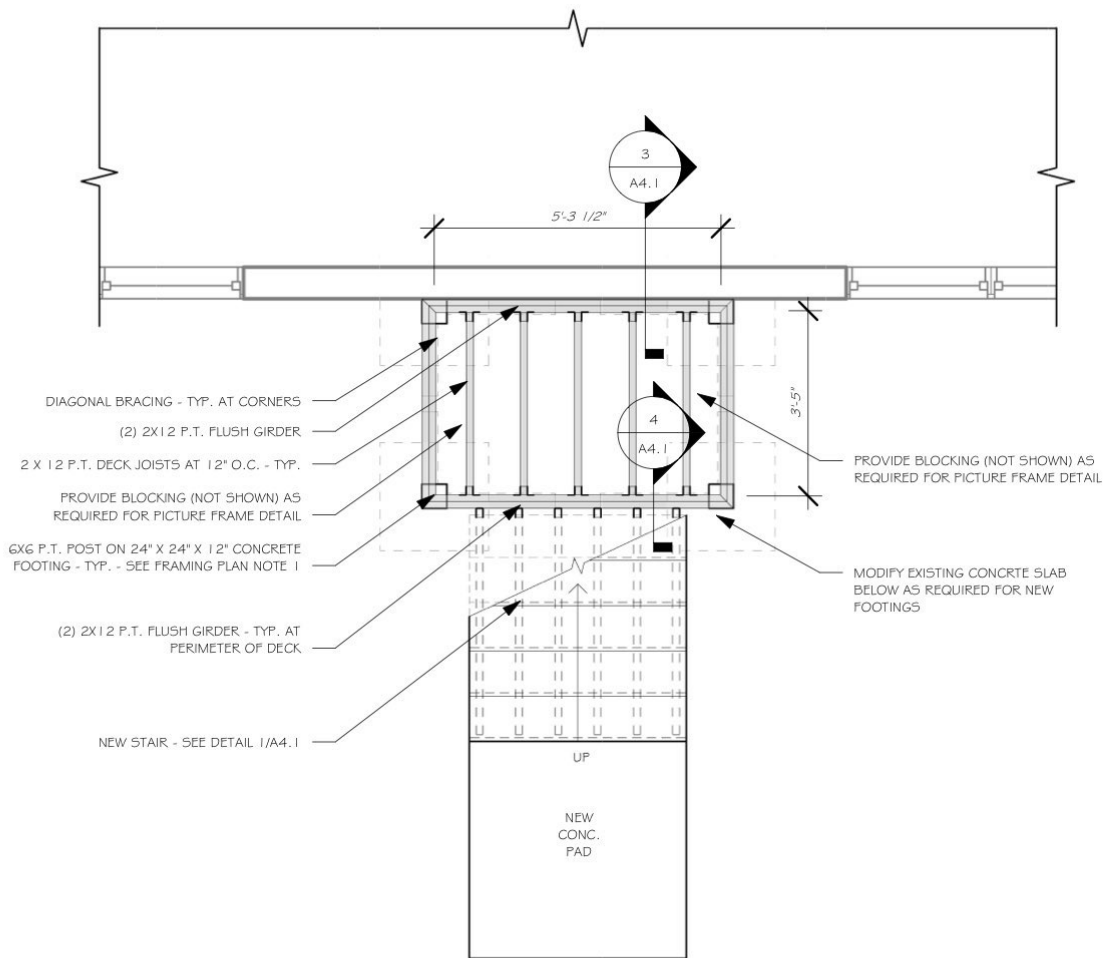
FRAMING PLAN NOTES

1. DECK FOOTINGS WITHIN 5'-0" OF AN EXISTING HOUSE FOUNDATION WALL MUST BEAR AT THE SAME ELEVATION AS THE EXISTING HOUSE FOOTING. FOR ALL OTHER FOUNDATIONS, REFER TO DESIGN LOADS & SPECIFICATIONS ON T1.0 FOR MINIMUM FOUNDATION DEPTHS .
2. BLOCKING NOT SHOWN FOR DRAWING CLARITY - PROVIDE BLOCKING AS REQUIRED PER DETAILS, APPLICABLE BUILDING CODE, AND MANUFACTURER RECOMMENDATIONS.
3. DIAGONAL BRACING REQUIRED AT CORNER POSTS WHEN POST HEIGHTS EXCEED 1'-0" .

HARDWARE LEGEND

-  FRAMING ANGLES
-  JOIST HANGERS
-  CONCEALED JOIST HANGERS
-  ADJUSTABLE FRAMING ANGLE
-  SKEWED JOIST HANGERS

NOTE: ALL CONNECTORS BY SIMPSON STRONG-TIE OR APPROVED EQUAL



1 FRAMING PLAN
SCALE : 3/8" = 1'-0"



CRAGER RESIDENCE

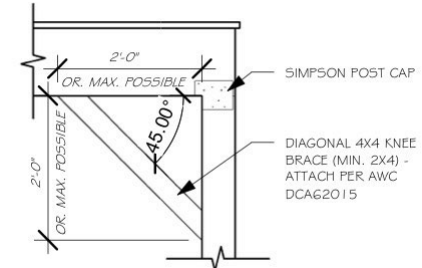
9 IVY SPRINGS DRIVE,
NEWNAN, GA. 30265

Date Printed:
2025-12-01

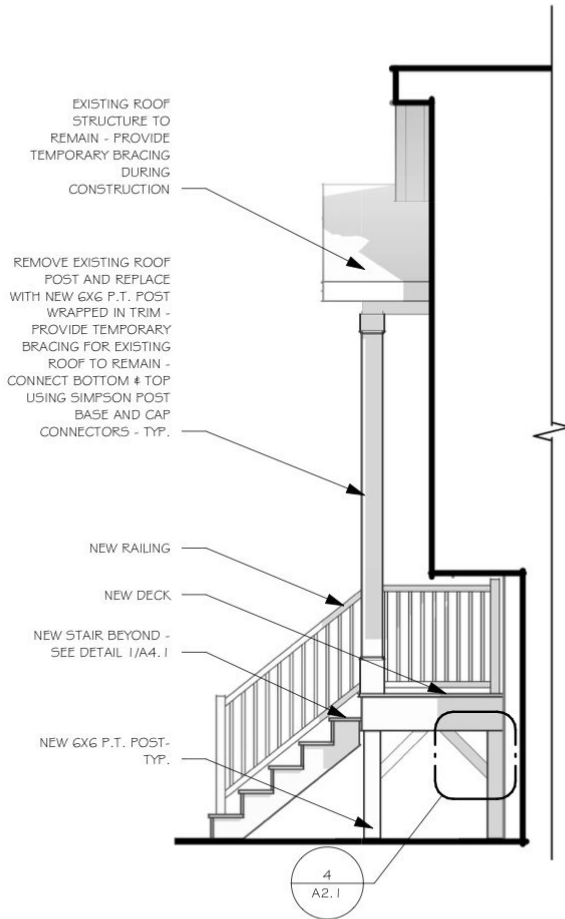
RELEASED FOR
CONSTRUCTION

FRAMING PLAN

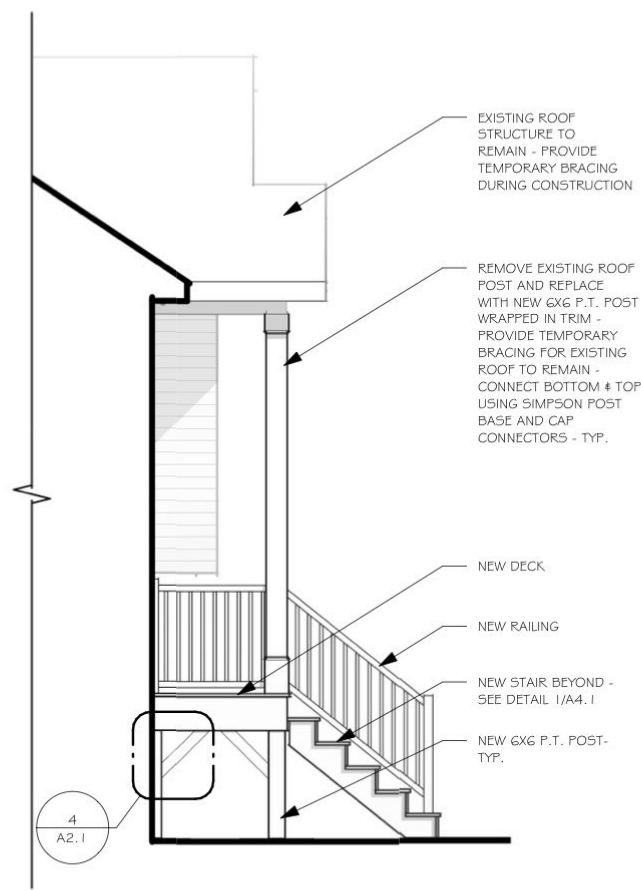
A1.2



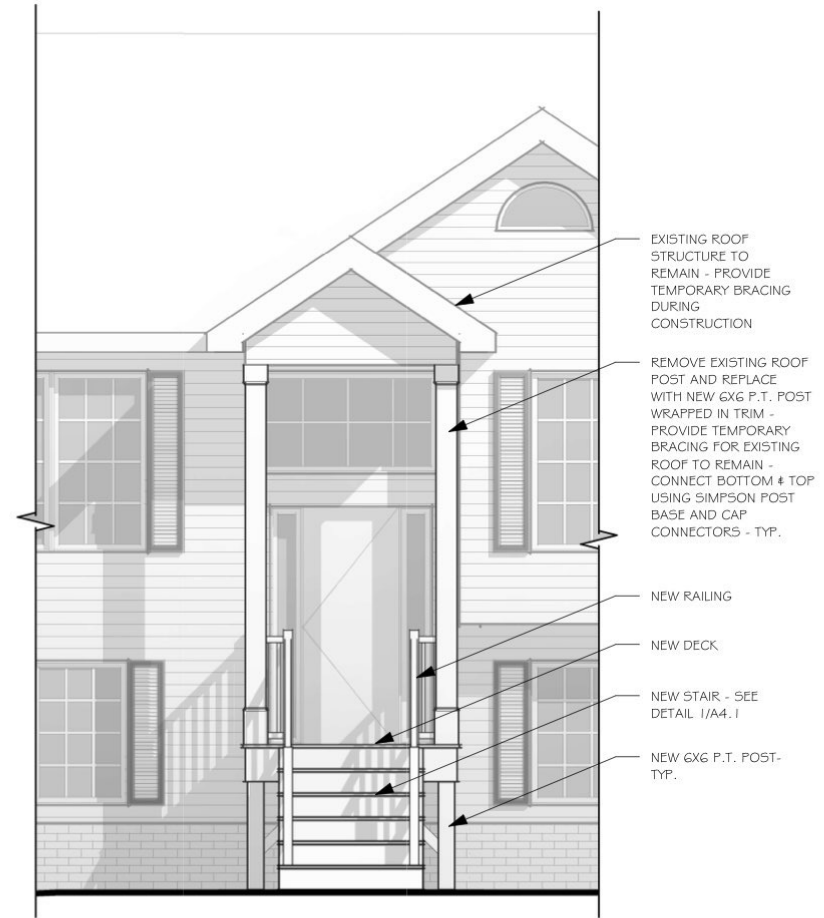
4 *DIAGONAL BRACING DETAIL*
 SCALE : 1/2" = 1'-0"



3 *RIGHT ELEVATION*
 SCALE : 1/4" = 1'-0"

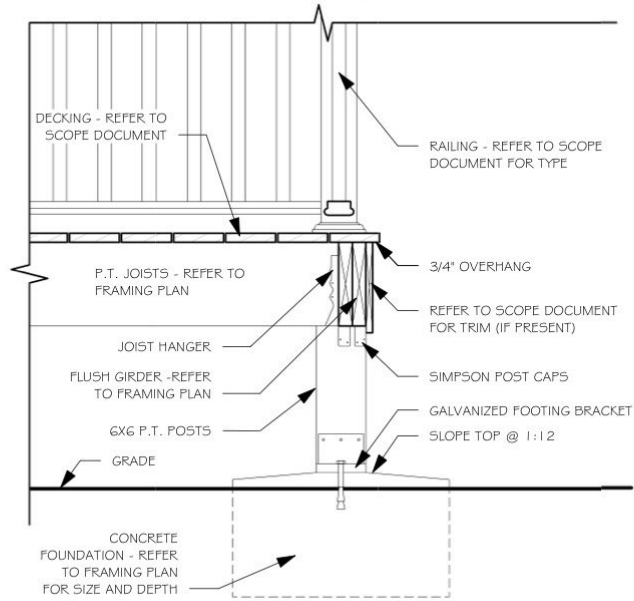


2 *LEFT ELEVATION*
 SCALE : 1/4" = 1'-0"



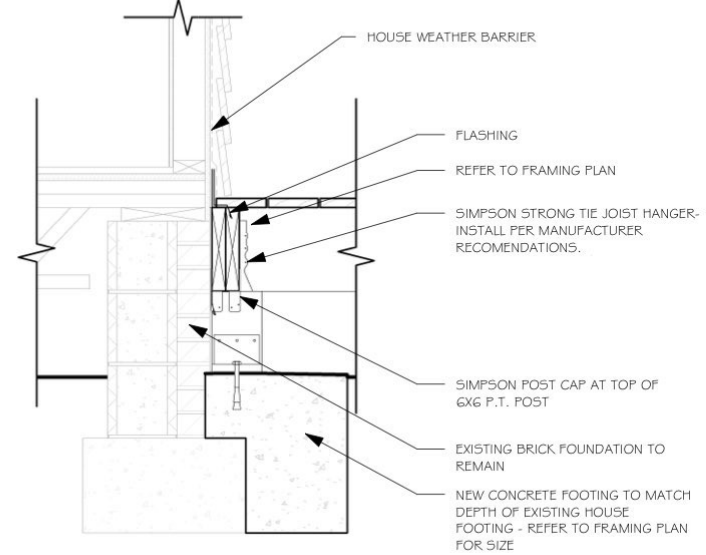
1 *REAR ELEVATION*
 SCALE : 1/4" = 1'-0"

NOTE: PROVIDE DIAGONAL BRACING AT GIRDER / POST CONNECTION WHEN POST IS GREATER THAN 2'-0" TALL - BRACING NOT SHOWN FOR CLARITY

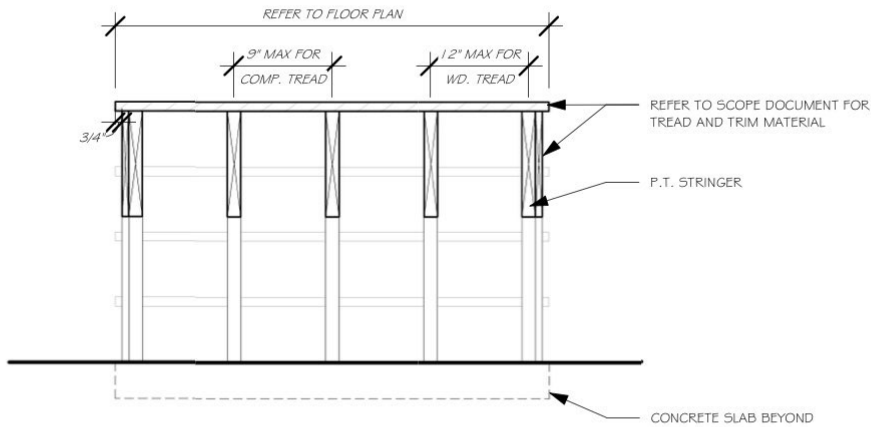


④ TYPICAL OUTSIDE EDGE DETAIL
SCALE : 3/4" = 1'-0"

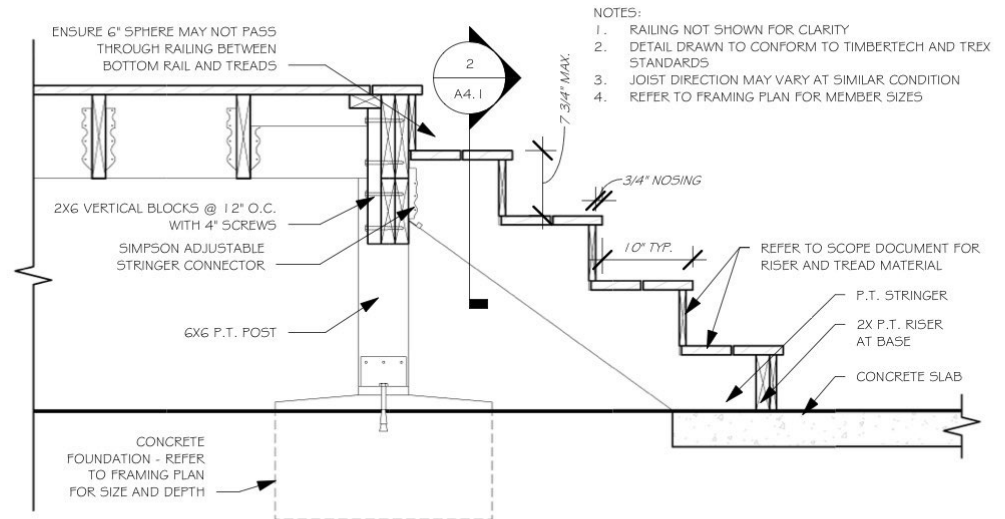
NOTE: PROVIDE DIAGONAL BRACING AT GIRDER / POST CONNECTION WHEN POSTS ARE GREATER THAN 2'-0" TALL - BRACING NOT SHOWN FOR CLARITY. EXISTING HOUSE CONSTRUCTION MAY VARY.



③ HOUSE CONNECTION DETAIL
SCALE : 3/4" = 1'-0"



② TYP. STAIR CROSS SECTION
SCALE : 3/4" = 1'-0"



① TYP. STAIR SECTION
SCALE : 3/4" = 1'-0"

CRAGER RESIDENCE

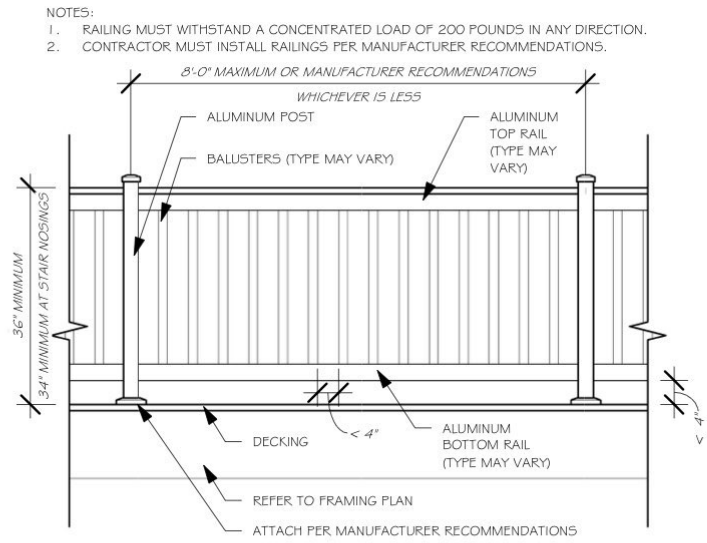
9 IVY SPRINGS DRIVE,
 NEWNAN, GA. 30265

Date Printed:
 2025-12-01

RELEASED FOR
 CONSTRUCTION

DECK DETAILS

A4.2



- NOTES:
1. RAILING MUST WITHSTAND A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION.
 2. CONTRACTOR MUST INSTALL RAILINGS PER MANUFACTURER RECOMMENDATIONS.

1 TYPICAL RAILING
 SCALE : 1/2" = 1'-0"



Georgia Department of Public Health On-Site Sewage Management System Performance Evaluation Report Form

APPLICANT NAME: Christopher Hembree	PROPERTY/SYSTEM ADDRESS: 9 IVY SPRINGS DR NEWNAN, GA 30265	EVALUATION ID: 031314
APPLICANT PHONE: (000) 000-0000		COUNTY: Coweta
APPLICANT EMAIL ADDRESS: chembree@bhreno.com	SUBDIVISION/LOT/BLOCK: Ivy Trace/5A/-	REASON FOR EVALUATION: Structure Renovation

Inspection Records

Yes	1. Inspection records exist for this septic system.
Yes	2. Inspection records indicate that all components of the septic system were properly constructed and approved at the time of original inspection. A copy of the original inspection report is attached.

Maintenance Records (applicable copies are attached)

No	3. Maintenance or installation records indicate that the tank has been pumped out or installed within the past 5 years. Note: it is recommended that septic tanks be pumped at least once every 5 years.
N/A	4. Systems with aerobic treatment unit(s) (ATU): Records indicate the ATU has been serviced in accordance with the manufacturer's recommended maintenance schedule OR an authorized representative of the manufacturer has provided documentation that the ATU is operating sufficiently.
N/A	5. Systems with grease trap(s): Maintenance records indicate the grease trap(s) has been pumped out within the last 6 months OR documentation has been provided by a qualified individual confirming that the grease trap contains less than 75% of the designed grease holding capacity and is operating sufficiently.

System Assessment and Existing Site Conditions (applicable copies are attached)

N/A	6. The septic tank was uncovered at the time of this County Board of Health Evaluation OR maintenance records exist and the tank appears to meet the required design, construction, and installation criteria. The appropriateness of the sizing and installation criteria of the absorption field cannot be verified since no initial inspection records exist.
N/A	7. A Georgia certified septic tank installer has provided written documentation of the system design, location, and components.
Yes	8. This site evaluation by the County Board of Health revealed no evidence of system failure.
Yes	9. This site evaluation by the County Board of Health revealed no evidence of adverse conditions which would affect the functioning of the system.

Addition to Property

Yes	10. This site evaluation as well as the provided information indicate that the proposed construction to the home or property should not adversely affect the functioning of the existing system.
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Relocation of Home or Change of Use

N/A	11. This site evaluation as well as the provided information indicate that the system appears to meet the required design, construction, and installation criteria to accommodate the proposed relocation of the home or change of use for the facility should not adversely affect the functioning of the existing system.
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See 2nd page for evaluation notes, disclaimer, and signature.


Performance Evaluation Report Form (continued)

PROPERTY/SYSTEM ADDRESS: 9 IVY SPRINGS DR NEWNAN, GA 30265	EVALUATION ID: 031314
	SUBDIVISION/LOT/BLOCK: Ivy Trace/5A/-

Adverse Conditions (i.e. malfunctioning or damaged system or clear evidence of a condition, or conditions, that would likely contribute to system malfunction or unacceptable risk to public health):

Additional Notes/Comments:

No objections to the proposed replacement of the existing porch on the front of the house.

Inspector: J. Brian Helms	Signature: 	Date: 12/04/2025
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I verify the above information to be correct at the date and time of this evaluation only. Disclaimer: This verification shall not be construed as a guarantee of the proper functioning of this system for any given period of time. No liability is assumed for future damages that may be caused by system malfunction.